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3	PLAN APPROVAL AMENDMENT	12/16/2016
2	D.O.B. BUILDING PERMIT FILING	05/01/2015
1	D.O.B. FOUNDATION PERMIT FILING	09/23/2014

No. Description Date

Key Plan

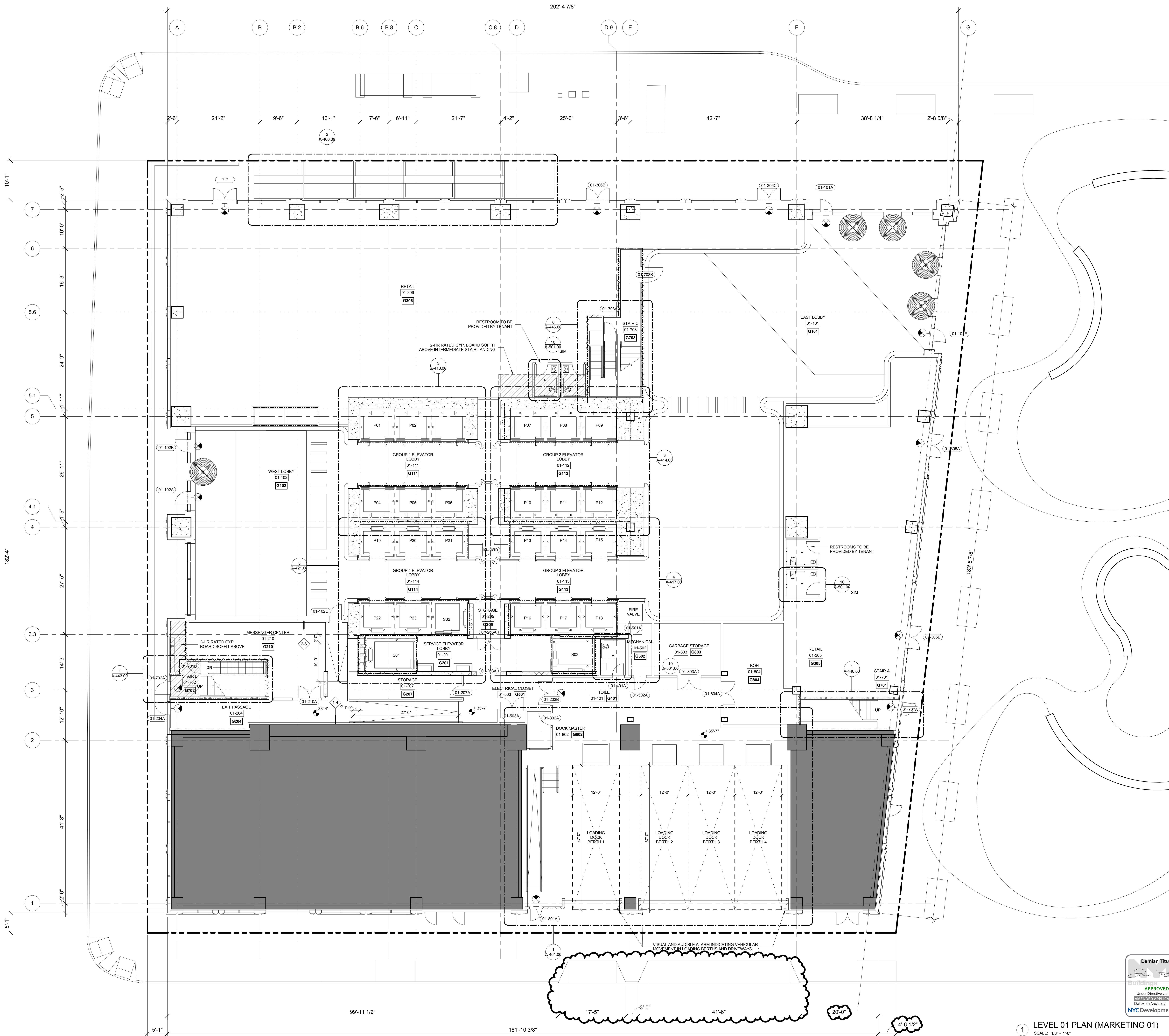
Date: 09/23/2014
Project No: 55HY
Drawn By: 55HY-A-102.01

Drawing Title

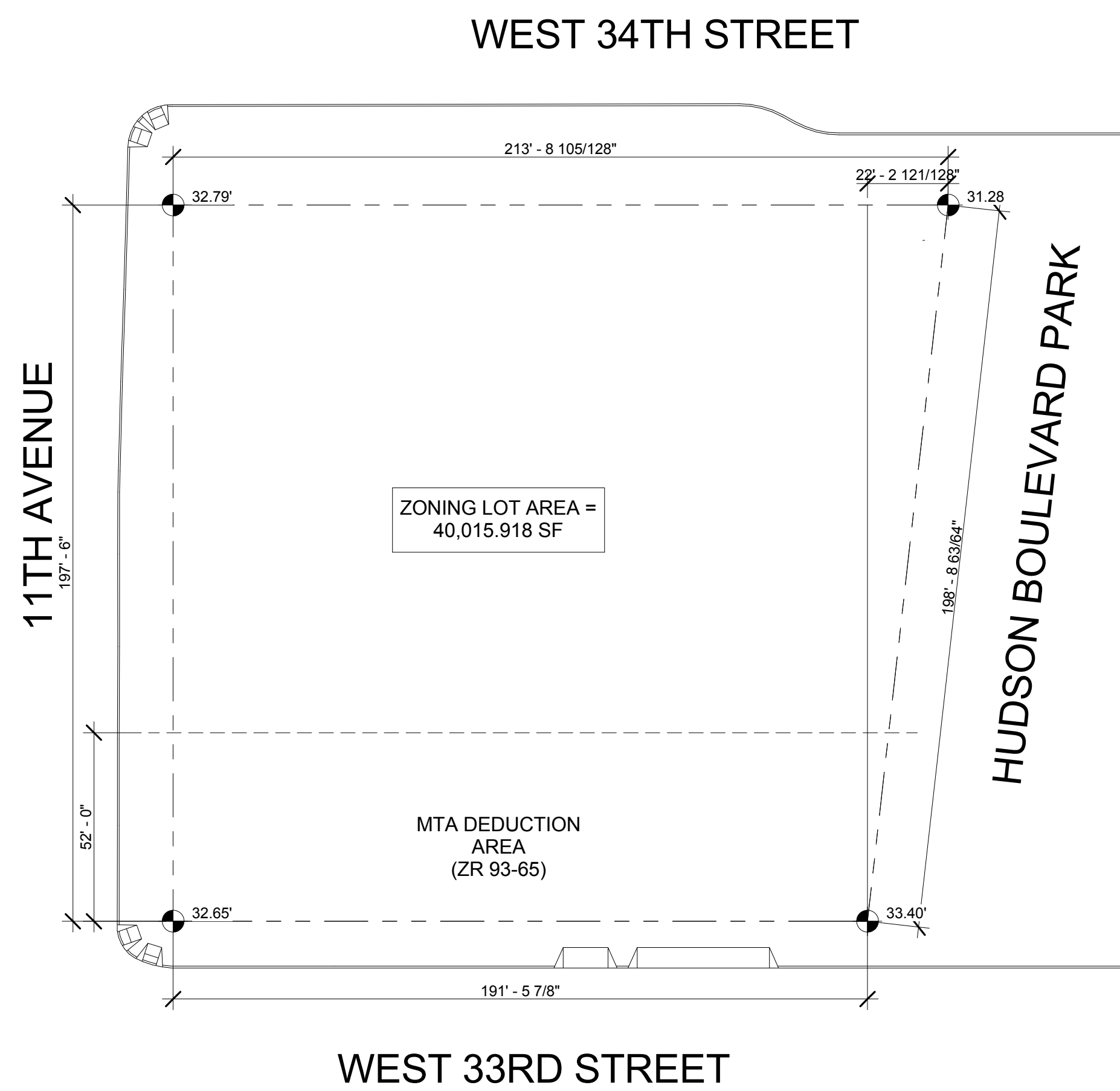
FLOOR PLAN 01
(MARKETING 01)

Drawing Number

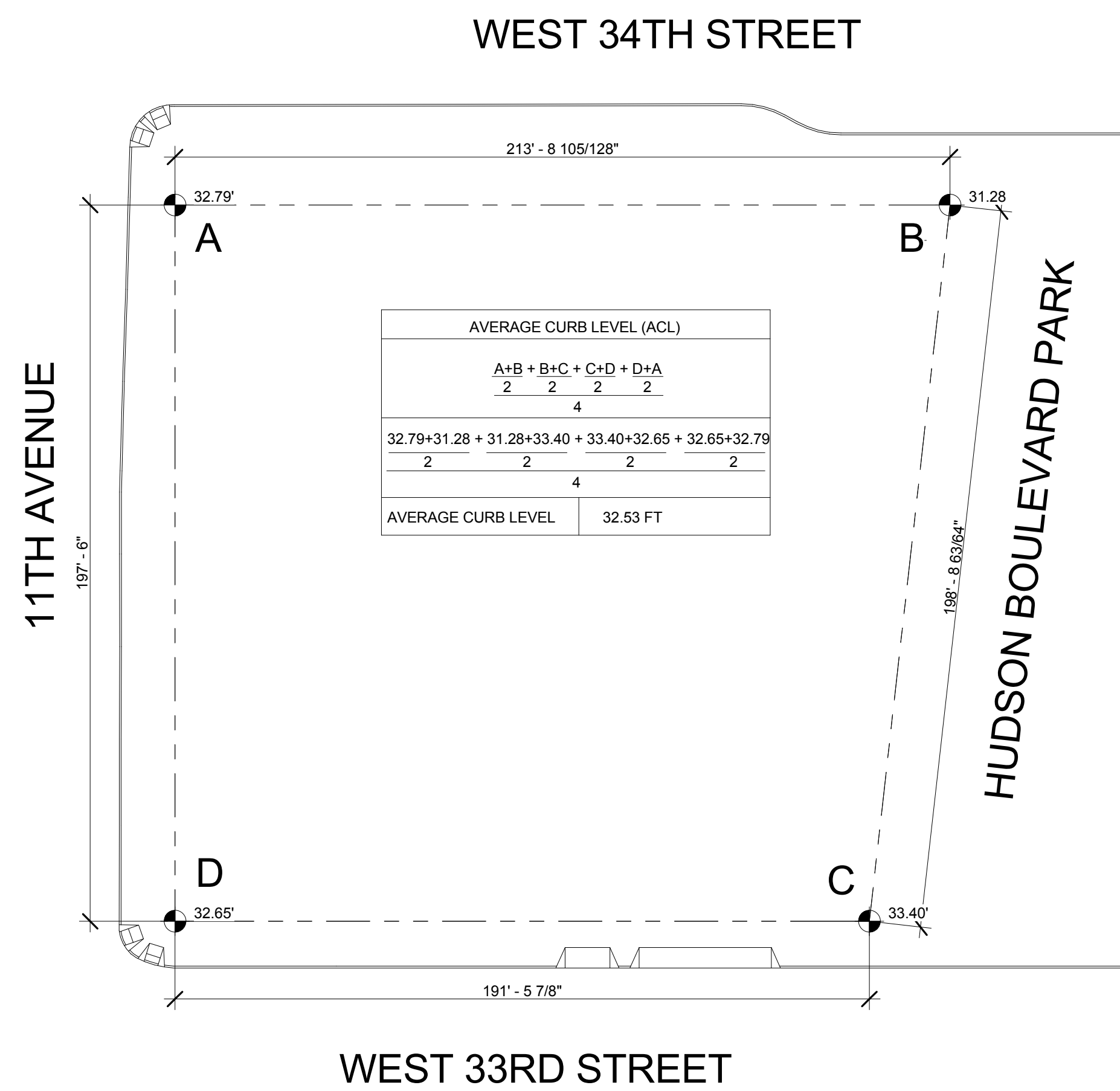
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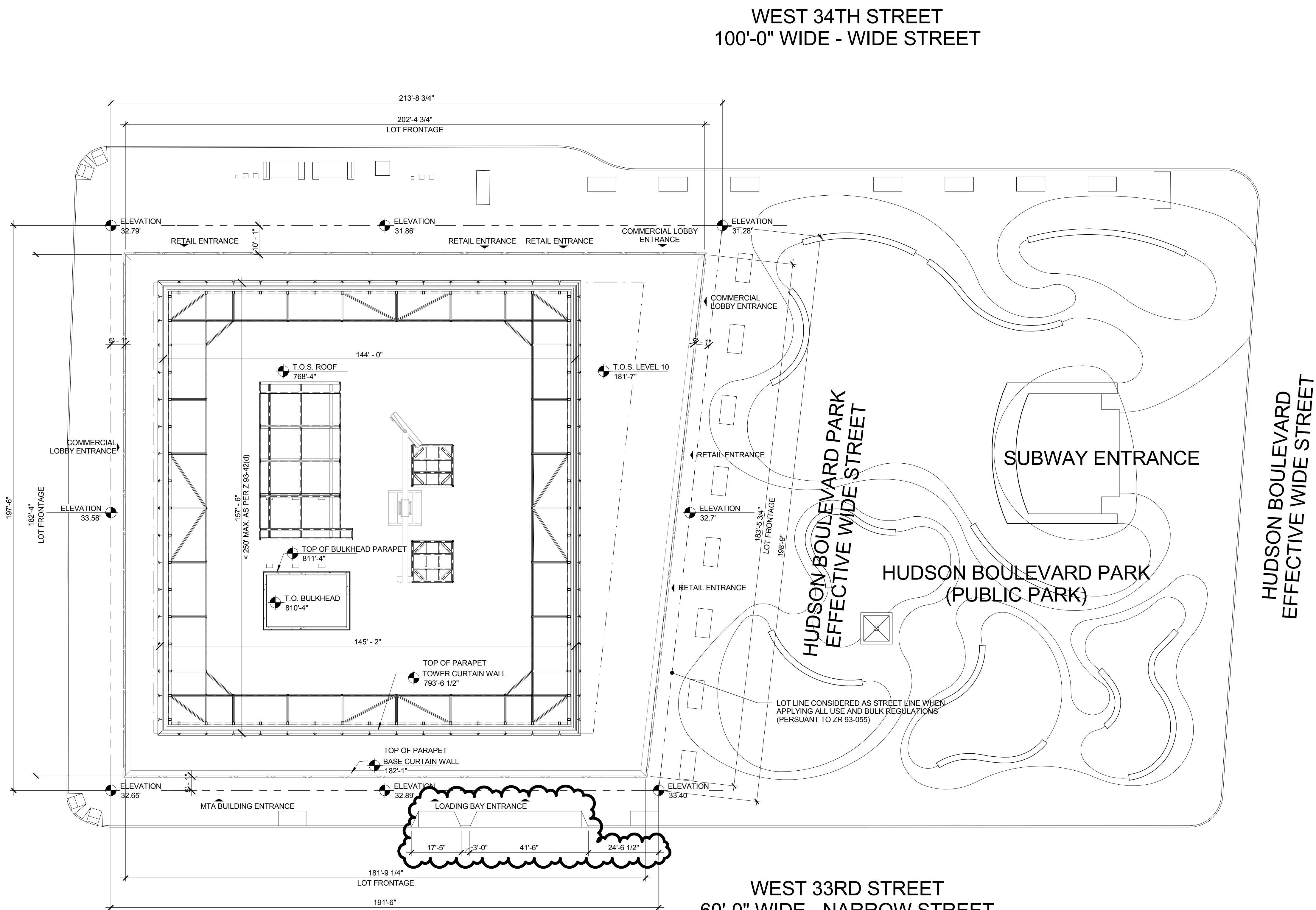
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1 LOT AREA DIAGRAM
SCALE: 1/32" = 1'-0"



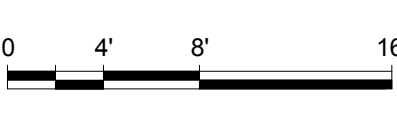
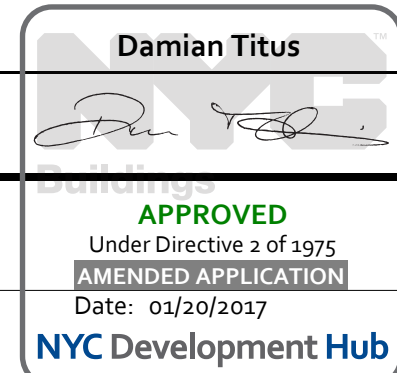
3 AVERAGE CURB LEVEL DIAGRAM
SCALE: 1/32" = 1'-0"



2 ZONING SITE PLAN
SCALE: 1" = 20'-0"

ZR 11	Block Lot Zoning District Zoning Map No. Zoning Lot Area	705 1 C6-4/HY (Special Hudson Yards District) The Large-Scale Plan Subdistrict A; Four Corners Subarea A2 8b 40,015.918 SF	See Sheet Z-001.01/ 4
ZR 13		N/A per ZR 93-80	
ZR 14		N/A	
ZR 15		N/A; not an alteration	
ZR 32	USE REGULATIONS	Uses Permitted Uses Proposed	Use Groups 1-12 6A, 6B Complies
ZR 32-60 / 93-17	SIGN REGULATIONS	No Signage under this application	Complies
ZR 33-03	STREET TREE PLANTING	Refer to ZR 93-62 for modifications and calculations to the Street Tree Planting Requirements set forth in ZR 33-03	
ZR 33-40	HEIGHT AND SETBACK REGULATIONS	N/A; Height and Setback regulations set forth in ZR 33-40 are superseded by the Special Hudson Yards District zoning resolution set forth in ZR 93-42 and 93-50.	See ZR 93-42/ 93-50
ZR 36-70	BICYCLE PARKING	UG 6A (Retail) Requirement GFA in UG 6A Spaces Required for UG 6A UG 6B (Office) Requirement GFA in UG 6B Spaces Required for UG 6B TOTAL SPACES REQUIRED TOTAL SPACES PROPOSED	One (1) space per 10,000 SF 9,140 SF One (1) space per 7,500 SF 1,260,712 SF 169 Spaces 170 Spaces 192 Spaces Complies
ZR 37-50	PUBLIC ACCESS REQUIREMENTS	Refer to ZR 93-63 for modifications and calculations to the public access requirements set forth in ZR 37-50	
ZR 93-055	MODIFICATION OF USE AND BULK REGULATIONS FOR ZONING LOTS BOUNDING HUDSON BOULEVARD PARK	Lot Line coinciding with boundary of Hudson Blvd Park will be considered a street line when applying all use and bulk regulations	Complies See ZR 93-50
ZR 93-14	RETAIL AND TRANSPARENCY REQ'S	RETAIL CONTINUITY REQUIREMENTS Hudson Blvd Retail Continuity Required Proposed Retail Continuity W 34th Street Retail Continuity Required Proposed Retail Continuity TRANSPARENCY REQUIREMENTS Hudson Blvd Transparency Required Street Wall Area below 10'-0" Total Street Wall Transparent Area Proposed Transparency Percent to Total W 34th Street Transparency Required Street Wall Area below 10'-0" Total Street Wall Transparent Area Proposed Transparency Percent to Total	100% Complies 100% Complies 70% 2137.93 1598.73 74.8% 70% 2024.16 1429.45 70.7% Complies See Sheet Z-005.01 See Sheet Z-006.00/ 2 Complies See Sheet Z-006.00/ 1
ZR 93-15	SECURITY GATES	N/A; No Security Gates under this application	N/A
ZR 93-18	NON-CONFORMING USES	N/A; Nothing in Use Group 16 proposed	N/A
ZR 93-19	ELECTRICAL SUBSTATIONS	N/A; No Electrical Substations Proposed	N/A
ZR 93-21 (A)	FLOOR AREA REGULATIONS	COMMERCIAL FAR PERMITTED Total Combined FAR TOTAL FLOOR AREA PERMITTED Max allowable Zoning Floor Area No Community Facility or Residential FAR proposed under this application FLOOR AREA PROPOSED Proposed Total Gross Floor Area (GSF) Floor Area Exclusions (Deductions) Proposed Zoning Floor Area (ZFA) Proposed FAR	27.95 1,118,296 ZFA 1,269,852 SF 1,45,310 SF 1,118,279 27.95 See ZR 12-10 See Sheet Z-002.01 Complies
ZR 93-42 (A) / 93-513	BASE HEIGHT REGULATIONS	Average Curb level (ACL) Elevation Minimum Base Height (Above ACL) Maximum Base Height (Above ACL) Proposed Base Height Elevation Proposed Base Height Above ACL	32.53' 90'-0" 150'-0" 182.08' 149.598' See Sheet Z-001.01/ 4 See Zoning Map 93-A3 See Sheet Z-001.01/ 2 See Sheet Z-003.01/ 1
ZR 93-42 (B) / 93-513	REQUIRED TOWER SETBACKS	Min. Setback at Wide Street Min. Setback at Narrow Street Min. Setback at Hudson Boulevard Min. Setback at W 34th Street Min. Setback at W 34th Street (narrow) Proposed Setback at Hudson Blvd (wide) Proposed Setback at W 33rd Street (narrow) Proposed Setback at 11th Ave (wide) Proposed Setback at W 34th Street (wide)	15'-0" 20'-0" 25'-0" 20'-0" Varies; 30'-0 3/4" - 47'-8 1/4" 20'-0" 17'-2" 20'-0" Complies Complies Complies Complies
ZR 93-42 (C) / 93-511	TOWER LOT COVERAGE	N/A; Tower Lot coverage requirements shall not apply within the Large-Scale Subdistrict A pursuant to ZR 93-511	N/A
ZR 93-42 (D)	LENGTH OF BUILDING WALL	Maximum Length of story above average curb level elevation of 500'-0" Proposed Maximum Length	200'-0" 157'-6" < 200'-0" Complies See Sheet Z-001.01/ 2
ZR 93-50 / 93-513	SPECIAL HEIGHT AND SETBACK REGS	RECESSES Maximum Ground Floor Recess STREET WALL REQUIREMENTS Hudson Boulevard Street Wall Requirement Zoning Lot frontage Length Proposed Street Wall Frontage Length Percentage of Street Wall West 34th Street, street wall requirement Zoning Lot frontage Length Proposed Street Wall Frontage Length Percentage of Street Wall SIDEWALK WIDENINGS Hudson Boulevard West 33rd Street 11th Ave West 34th Street	3'-0" 70% of Zoning Lot Frontage 183.9 LF 150.16 81.65% > 70% 70% of Zoning Lot Frontage 202.58 LF 144.58 LF 71.37% > 70% 5'-0" 5'-0" 5'-0" 10'-0" Complies; See Sheet Z-007.00 Complies Complies Complies Complies Complies Complies Complies
ZR 93-61	SIDWALK WIDENING	Required widening at W 34th St Required widening at Eleventh Ave Required widening at W 33rd St Required widening at Hudson Blvd	10'-0" 5'-0" 5'-0" 5'-0" Complies Complies Complies Complies
ZR 93-62	STREET TREE PLANTING	Frontage along 34th Street Frontage along 11th Avenue Frontage along 33rd Street Frontage along Hudson Boulevard Total tree count required Trees added to project Existing trees to remain/ protect Existing Trees to Remove/ Relocate Trees to pay into Tree Fund	213.7 LF 197.5 LF 191.6 LF 196.7 LF 58 2 7 0 54
ZR 93-63 / 37-50	PEDESTRIAN CIRCULATION SPACE	REQUIRED PEDESTRIAN CIRCULATION SPACE Pedestrian Circulation Space Ratio Proposed New Floor Area Pedestrian Circulation Space Required PROPOSED PEDESTRIAN CIRCULATION SPACE Building Entrance Recess Area Sidewalk Widening Area Total Pedestrian Circulation Space	1 SF / 300 SF New Floor Area 1,118,279 SF 3,727.6 SF 330.65 SF 4,960.31 SF 5,290.96 SF Complies
ZR 93-64	MAJOR BUILDING ENTRANCES	Provide Major Building Entrance on Hudson Boulevard	Complies See Sheet Z-001.01/2
ZR 93-65	TRANSIT FACILITIES	Amount of Floor space devoted to subway ventilation facility	10,100 SF See Sheet Z-001.01/ 4
ZR 93-66	OPEN AREA REQUIREMENTS	Comply with design and operation requirements pursuant to zoning resolution	Complies See Sheet Z-003.01
ZR 93-70	PUBLIC ACCESS REQUIREMENTS	N/A to application property	
ZR 93-80	OFF-STREET PARKING REGULATIONS	N/A; Off-Street Parking not proposed under this application	
ZR 93-84	CURB CUT RESTRICTIONS	N/A; No new curb cuts proposed under this application	
ZR 93-90	HARASSMENT	N/A; No residential proposed under this application	
ZR 93-91	DEMOLITION	N/A; No demolition of "Multiple Dwelling" proposed under this application	

1 ZONING CALCULATIONS
SCALE: 3/32" = 1'-0"



55 HUDSON YARDS

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1	D.O.B. FOUNDATION PERMIT FILING	09/23/2014

No.	Description	Date
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Exp. Date

Date: 09/23/2014
Project No: 55HY
Owner By: 55HY
Sheet Number: 55HY-Z-001.01



Drawing Title

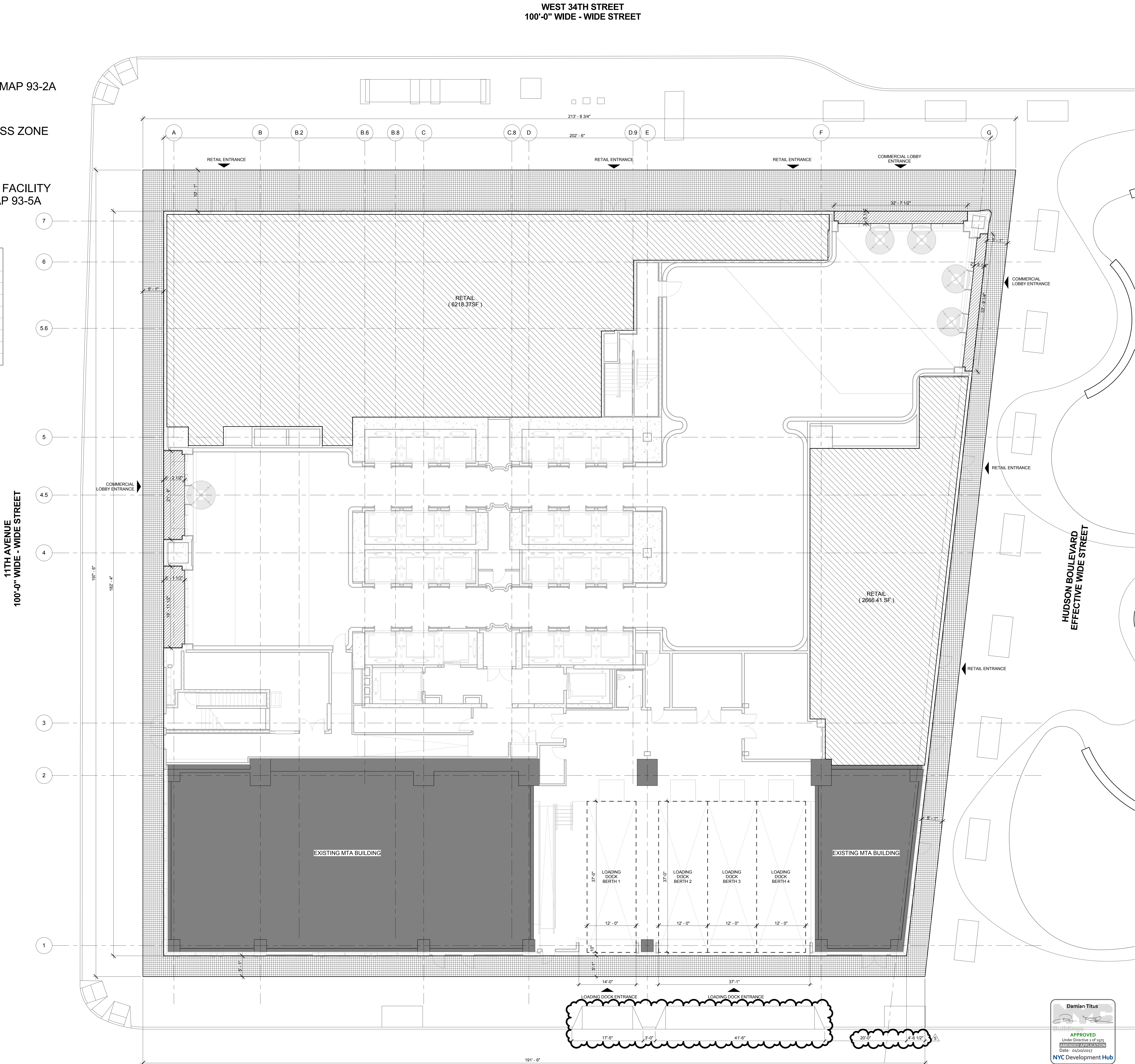
ZONING SITE PLAN,
NOTES AND
CALCULATIONS

Drawing Number

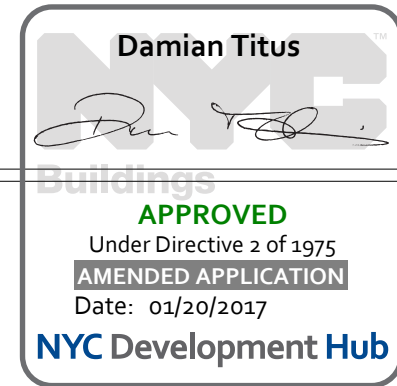
Z-001.01

- SIDEWALK WIDENING ZONE
PURSUANT TO ZR 37-50(F)
- USE GROUP 6A (RETAIL)
PURSUANT TO ZR 93-14(A); MAP 93-2A
- BUILDING ENTRANCE RECESS ZONE
PURSUANT TO ZR 37-50(F)
- MTA TRANSIT VENTILATION FACILITY
PURSUANT TO ZR 93-65; MAP 93-5A

PEDESTRIAN CIRCULATION SPACE (ZR 93-63)	
REQUIRED PEDESTRIAN CIRCULATION SPACE	
PEDESTRIAN CIRCULATION SPACE RATIO	1 SF / 300 SF ZFA
PROPOSED NEW FLOOR AREA	1,118,279 SF
REQUIRED PEDESTRIAN CIRCULATION SPACE	3,727.6 SF
PROPOSED PEDESTRIAN CIRCULATION SPACE	
BUILDING ENTRANCE RECESS ZONE	330.65 SF
SIDEWALK WIDENING ZONE	4960.31 SF
TOTAL PEDESTRIAN CIRCULATION SPACE	5290.96 SF



1 GROUND LEVEL REQUIREMENTS
SCALE: 1/8" = 1'-0"



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No.	Description	Date
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Date: 09/23/2014
Project No: 55HY
Drawn By: 55HY
Sheet Number: 55HY-Z-005.01



Drawing Title

ZONING
REQUIREMENTS,
GROUND LEVEL

Z-005.01



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LEGEND

BU	BULKHEAD
CR	CONDUIT RISER
EC	ELEVATOR CONTROL ROOM
ECR	ELEVATOR MACHINE ROOM
EO	ELEVATOR OVERRUN
FA	FIRE ALARM
LD	LOADING DOCK
ME	MECHANICAL PIPE ENCLOSURE
MR	MECHANICAL ROOM
MS	MECHANICAL SHAFT
PKG	PARKING
PL	PLUMBING

ZFA AREA, FLOOR 01	
Name	Area
CR	74 SF
CR	45 SF
CR	167 SF
EC	31 SF
LD	396 SF
LD	396 SF
LD	396 SF
LD	396 SF
ME	26 SF
ME	14 SF
ME	14 SF
ME	67 SF
MR	41 SF
MS	44 SF
MS	34 SF
PL	17 SF
PL	13 SF
PL	13 SF

Total: 18 2185 SF

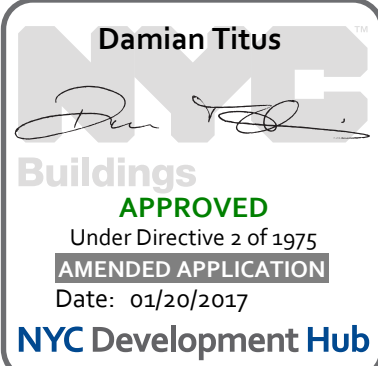
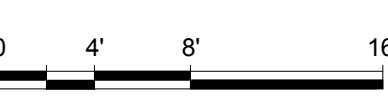
AREA EXCLUSION	396 SF
PER ZR 12-10(7)	
AREA EXCLUSION	396 SF
PER ZR 12-10(7)	
AREA EXCLUSION	396 SF
PER ZR 12-10(7)	
AREA EXCLUSION	396 SF
PER ZR 12-10(7)	
Total:	1584 SF

GRAND TOTAL 3769 SF

Level	GROSS FLOOR AREA	TOTAL DEDUCTIONS	ZONING FLOOR AREA
GROUND FLOOR (PLAZA LEVEL)	28949 SF	3769 SF	25180 SF

1 GROUND FLOOR (PLAZA LEVEL)

SCALE: 1/8" = 1'-0"



Date: 09/23/2014

Project No: 55HY

Drawn By: 55HY

Sheet Number: 55HY-Z-102.01

Drawing Title:

ZONING AREA
FLOOR PLAN -
LEVEL 01

Drawing Number:

Z-102.01